



THE CORPORATION OF THE VILLAGE OF FRUITVALE

BYLAW NO. 847, 2013

A Bylaw to authorize and regulate the issuance of Development Permits within the Commercial and Village Centre Development Permit Areas specified in the Village of Fruitvale Official Community Plan

WHEREAS the Village of Fruitvale has designated Development Permit Areas in the Village of Fruitvale Official Community Plan with regard to establishment of objectives for the form and character of commercial, industrial and multi-family residential development pursuant to the *Local Government Act* Part 26, Division 9, Section 919.1;

AND WHEREAS under the *Local Government Act* Part 26, Division 9, Section 920, the land in such designated Development Permit Areas must not be subdivided; the construction or alteration of buildings and structures must not be commenced; unless a Development Permit has been issued by the Village of Fruitvale;

AND WHEREAS under the aforementioned Section 920 a development permit may include requirements respecting the character of the development, including landscaping, and the siting, form, exterior design and finish of buildings and other structures;

NOW THEREFORE the Council of the Corporation of the Village of Fruitvale, in open meeting assembled, enacts as follows:

1. THAT a Development Permit authorized by resolution of the Council of the Village of Fruitvale shall be required for any subdivision of land, construction or alteration of buildings within the Village Centre Development Permit Area as designated in the Village of Fruitvale Official Community Plan;
2. THAT a Development Permit authorized by resolution of the Council of the Village of Fruitvale shall be required for any subdivision of land, construction or alteration of buildings within the Commercial Development Permit Area as designated in the Village of Fruitvale Official Community Plan;
3. THAT Council shall give regard to the Commercial and Village Centre Development Permit Area Guidelines attached hereto as Schedule A and forming a part of this Bylaw;
4. THAT "Village of Fruitvale Zoning Amendment Bylaw 368, 1985" is hereby repealed.
5. THAT this Bylaw shall be known and cited for all purposes as the "Village of Fruitvale Commercial and Village Centre Development Permit Bylaw No. 847, 2013"; and

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6. THAT this Bylaw shall take effect as of the date of its adoption.

READ A FIRST TIME this 21st day of October, 2013.

READ A SECOND TIME this 6th day of January, 2014.

PUBLIC HEARING HELD on the 8th day of September, 2014.

READ A THIRD TIME this 6th day of October, 2014.

RECONSIDERED, FINALLY PASSED AND ADOPTED this 6th day of October, 2014.

"originally signed by Patricia Cecchini"
Mayor

"originally signed by Lila Cresswell"
Chief Administrative Officer

CERTIFIED a true copy of Bylaw No. 847 cited as "Village of Fruitvale Commercial and Village Centre Development Permit Bylaw No. 847, 2013".

DATED this 6th day of October, 2014.

"originally signed by Lila Cresswell"
Chief Administrative Officer

July 2013
September 2013

VILLAGE OF FRUITVALE

COMMERCIAL

DEVELOPMENT PERMIT AREA

DESIGN GUIDELINES



Introduction

Intent of Design Guidelines and Development Permit Areas

These guidelines apply to all development within the Village Centre Development Permit Area (Commercial Core) and the Commercial Development Permit Area (Gateway Commercial) as defined in Schedules F and L of the Village of Fruitvale Official Community Plan. Design requirements are meant to be specific to the form and character of any commercial, institutional or multi-unit residential building, be it a restoration or an entire new development. Any mixed use (residential above commercial ground floor) developments in these DPAs must also respect these guidelines.

The design guidelines are intended to supplement the Village's Zoning Bylaw and policies contained within this Official Community Plan. Development Permit Area (DPA) Guidelines respect the requirements of the Local Government Act of BC (Section 920, Part 26, Division 9). They provide performance criteria, standards, and design objectives that are to be considered by Village staff, committees, and the Village Council when evaluating individual development proposals within the project boundaries.



Design Elements to be Addressed



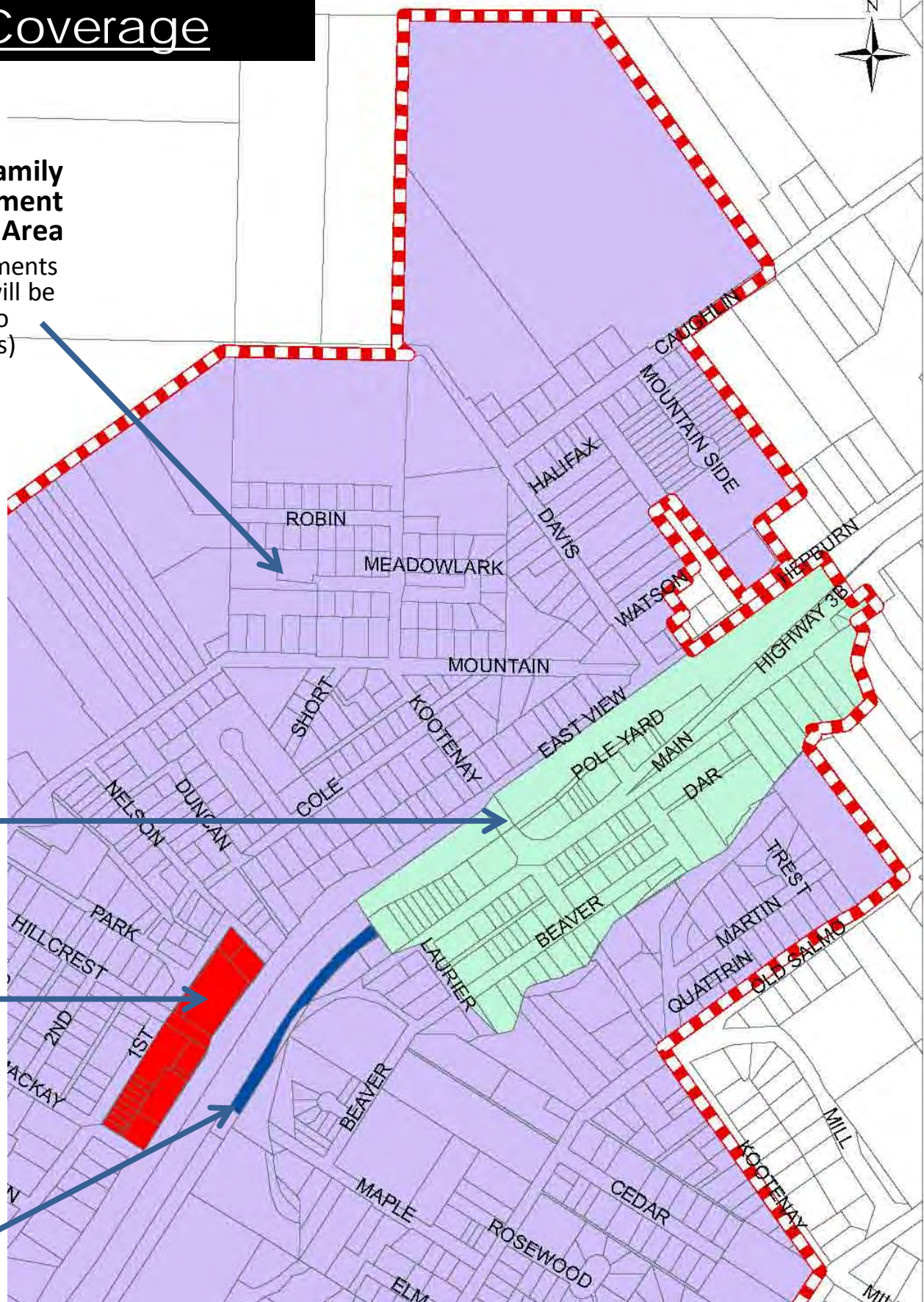
Area of Coverage

**Multiple-Family
Development
Permit Area**
(only MF developments
/structures will be
subject to
Guidelines)

**Village Center
Development
Permit Area**

**Commercial
Development
Permit Area**

**Industrial
Development
Permit Area**



Design Objectives/General Guidelines



- **Comprehensive Architectural Appeal** The Design Guidelines for Downtown Fruitvale are expected to promote a certain architectural vernacular, not necessarily a theme, but a character that will help in forming an inviting and comprehensive feel to the area. The craftsman appeal lends itself to using rustic forms and materials such as stone, rock and wood structure or accents that give the buildings a credible impression of being hand built by local craftsmen using local natural materials.
- **Village Scale** The guidelines are intended to promote a small town feel and an authentic village scale that Fruitvale has been able to maintain. The relative proportion of buildings to humans, site to neighbourhood, to the community, and to its larger natural setting, (the surrounding mountains and hills) must be maintained in new structures.
- **Authentic Materials** The guidelines promote a sense of authenticity that reflects the local geography and geology, including but not limited to the forest sector, mountain setting, the creeks and rivers of the Kootenays. Wherever possible, the structures should have a connection to the natural environment with respect to shape and scale and the use of natural materials such as timber and stone or rock. Obviously, a more contemporary design character is supported if they incorporate architectural elements from central craftsman style vernacular.
- **Tourism Appeal** Since Fruitvale has articulated a vision for promoting tourism development that is based on the natural beauty of the area, outdoor recreation, sports and local events and festivities, the architecture of the buildings should embrace any opportunity to help create or add to that special appeal to tourism and recreation. Although not expected to become a resort, Fruitvale can continue to enhance its appeal as a quaint must see/must stop tourism destination along Highway 3B between the west coast and Alberta, and between the USA and points north.



Design Objectives/General Guidelines

- **Sense of Permanency** The design guidelines are intended to inform a design character that promotes a sense of permanence and 'solid foundation' for every building. In this regard, the downtown is seen to be the cultural, business and institutional hub of the village, helping ensure the historical roots are protected well into the future. The stone, rock/brick and authentic wood accents are but one of many means to achieve this appeal.
- **Simple but Natural Materials** The use of the natural materials such as stone and wood are also intended to provide sense of simplicity while offering a warm appeal and ability to complement many other exterior treatments and design.
- **Provide Opportunity for Creativity** These Design Guidelines are expected to allow for creativity in design of all new structures or major renovations. There is significant variety permitted in structural expression, roof forms, facades, base, colors, materials and combinations of relief and texture. Architects, designers and builders will understand the details or 'how the pieces of a building fit together' such as small decorative touches, coordination of finishes and colors, and using the right materials in the right places are also critical, such as additions to roofs, cornices, ridges, windows, to name a few.
- **Allows for Integration of Heritage** The introduction of this architectural vernacular should not detract from protecting the integrity of any heritage building or the historic roots of a structure. Sensitive restoration with quality materials and workmanship is key to blending heritage buildings into a comprehensive design for the downtown commercial area.



Entry / Gateway Development Areas



- **Special attention** to development on the key entryways into the downtown core; may be in the form of unique architecture, bold design, and form and character features that assist in announcing the arrival or gateway;
- **Special landscaping** (ie large boulder accents) that makes for inviting image, sets the tone for the village character, and does not obscure but blends with the architecture;
- **Setback** should respect relationship to roadway, sidewalk and other public/amenity areas;
- **Signage** form and scale should relate to the remainder of downtown/village centre and not promote highway commercial development appearance (ie no large tall freestanding signs);
- **Use of gateway features/sculptures/artwork** to enhance the entryway;
- **Lighting** (at site and on buildings) that contributes to the ambiance of the Village Centre;
- **Other corner treatments** that make a statement about formal arrival into the Village Centre.

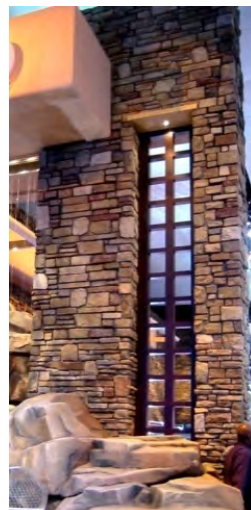




- **Use of authentic stone/rock and wood** accents to help establish a distinct look in the form and character of the commercial area;
- **Appropriate amount** of stone/rock applied to exterior walls, landscape areas, benches, etc; too much use of one material will compromise the effect
- **Mixture of materials** to allow stucco, glass and metal, along with the Stone/Wood theme;
- Careful selection and mixture of stone and wood:
 - natural stone
 - cultured stone, includes stone veneer
 - ledgerstone/fieldstone
 - brick
 - wood siding like board and batten sealed with earth tone stains
 - Authentic round or square cut log, post and beam framing features
 - Accent walls made of fieldstone or other stone
 - Slate, ceramic or tar and gravel roof treatment.
- Limited use of vinyl siding or use of metal exterior finishes
- **No wood slab** or rough hewn wood



Materials



Color



- **Earth tones and natural** color schemes are encouraged but with some contrasting colors for accentuating architectural details, façade elements or change in materials to break up massing;

- **Trim colors** should not dominate the main building color

- Generally, **one or two trim colors** may be used successfully on buildings which display interesting architectural details; recommended trim colors are darker shades of the main building color, and compatible colors of equal intensity;

- Limit the proportionate amount and extent of **vibrant colors**;

- Encourage **earth tones** wherever possible;

- Encourage use of a **color scheme** for the entire façade, not just patch work application;

- **Do Not paint masonry or stone**; retain original color wherever possible;

- **Historic buildings** should try to respect original building color scheme. Ensure that the new paint color represents old paint not just the sun faded shades;

(for colors of other elements such as Signs or Awnings, see other headings below)



Entrances and Doors

- **Entrances** to commercial buildings and stores should be inviting with respect to design, architectural features and ease of entry off the street;
- **Articulation of building** accents the entryway; recessed wall area can contain the door, windows and internal merchandise display area;
- **Accessibility** needs for the disabled should be addressed for every permit;
- Entrances should permit a high level of **transparency** through placement of windows in doors and /or the entryway;
- **Doors** should be both functional and decorative;
- **Entrances should be well lit** for ease of entry and safety, as well as enhancing display of goods at night;
- **Break the monotony of blank walls** by adding decorative treatment to an otherwise plain surface;



Architectural detail at entry



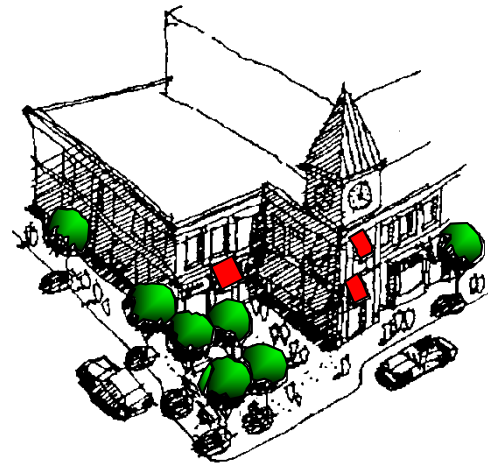
Windows and Ground Floor Transparency



- **Windows** should serve to be both functional and decorative;
- **Upper floor windows** should relate to the lower floor windows in terms of location, size and style;
- 60% of the street front façade should be **transparent** (windows and doors)
- Windows may cover the **entire height** of the first floor
- Visual **street level interaction** and activity is encouraged (eg people walking along sidewalk are able to see inside building. Professional offices occupying ground floor may be an exception;
- **Opaque glass is not recommended** unless special circumstances apply



Corner Treatments



- **Truncated buildings** on all prominent corners are encouraged (rounded, setback, etc)
- Corners should be considered for providing **public or amenity space** that permits more than just passage area along sidewalks
- Corners can be used for **entryways** to buildings
- Corners can accommodate **landscape feature, public art or special architectural treatment**
- **Parking should not disrupt** the special space that provides opportunity for many other uses in corner lots;



Building Height / Street Proportion



- **Maximum height** of four floors as per Village of Fruitvale Zoning; opportunities for height changes due to in-structure parking may be considered;
- The lower/1st floor should **relate to the street level**
- Use of an **articulated roof line** to enhance variety of building forms as viewed from the street/highway;
- **Low scale** to reflect the village ambiance;
- **Break up the mass of the building façade** to replicate and complement the width of adjacent and surrounding developments;



Setback /Streetwall



- **Zero setbacks** are required to encourage street appeal; Provincial Highway setback can be varied;
- **A straight wall** effect should be discouraged in favour of the following:
 - **Articulation of vertical plane** is encouraged in the form of recessed doorways, entryways, courtyards, outdoor patios, etc.;
- **Parking** in front of commercial buildings is discouraged;
- **Display of goods /sales** items (with proper controls) within the setback area or along the sidewalk fronting the store is encouraged;
- Opportunities to achieve **the integration of public and private space** should be supported.



Signage



-Recommended signs for the downtown area:

- Blade signs
- Small Facia signs, especially along the Highway
- Externally illuminated signs
- Small neon signs inside windows
- Window signs
- Canopy and Awning signs (lettering only on vertical face)

-Signs not recommended:

- Back lit florescent signs
- Roof top signs
- Animated/flashing signs
- Rotating signs
- Plastic signs

-Size and height of signs

- See *Signs Section of Zoning Bylaw*
- Size of lettering for fascia signs should respect the scale of the building;
- Size of lettering for canopy and awning signs should respect the scale and design of the canopy/awning

-Materials for Signs:

- Enameled wood
- Painted or sandblasted (professional /craftsman produced only)
- Neon (appropriate style and size)
- Painted lettering on fabric of awning/canopy
- Encourage artistic work and designs

-Limited information on sign (preference for name and logo only)

- Carefully select **typeface and lettering** style to complement type of business and architecture of building.

Awnings and Canopies

- All awnings and canopies should coordinate with and **complement the building color scheme**, avoid over use of vibrant primary colors
- **Canopy signs** – architectural character of building and windows should be reflected in the type of canopy sign
- **Lettering for signs** should be directly painted onto fabric of the awning
- **Minimum height** (see Zoning Bylaw)
- Structures or **supports should not encroach** on public rights of way such as sidewalks
- **Only durable material** is permitted; plastic and vinyl is not supported
- **Interference with street trees and lighting** (lamp standards) must be avoided
- Permission to construct over the sidewalk will require an **encroachment agreement** (Village will not be held liable for private structures)
- **Lighting** in collaboration with the awning or canopy must be designed or chosen to respect overall character of the building
- The awning or canopy should be **designed or broken up** into sections that reflect the various components of the building, and so that the massing of an otherwise large or long awning/canopy is minimized.



Break up awnings into smaller segments



Corporate Images and Logos



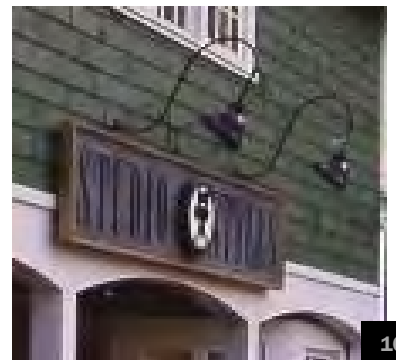
- **Logos and corporate images are permitted** but with attention to details, size limits and integration with Fruitvale's architectural materials pallet;
 - Signs and logos must be **proportionate to the scale** of the building
 - **Stone and wood** can be effectively used in **conjunction with established commercial logos** without detracting from the recognition factor of the corporate signage or colors;
 - Building designers/architects and the municipality will work together to ensure that marketing and business related interests can benefit from the compliance with the architectural (form and character) guidelines.
 - Corporate signs and **logos can be sized to fit** commercial and public monument signs, freestanding signs, planter boxes, entry signs to buildings, and fascia signs.
 - Care must be taken to **limit the amount of the same sign** or logo to one per building as per the Zoning Bylaw.
- * See separate Signs Section and Zoning Bylaw Specifications



Lighting



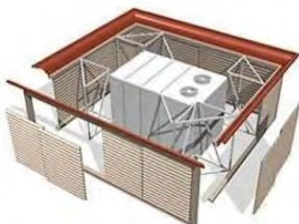
- Lighting on the building must **be responsive to the commercial use and activity** within the building
- Signage lighting should help view the sign, not accentuate the actual light fixture
- Light fixture design should **complement the architecture** and be integrated into the building design;
- **Use a row of spot lights** to illuminate the building and fascia signs;
- Direct lighting towards the building and not the streets;
- **Use sconce lights** to highlight the ornamentation and architectural features, signs and window displays;
- Creation of **special ambiance** is encouraged with the use of string lights;
- Dark sky, shielded style light fixtures are encouraged



Roof Forms



- **Roof shapes should be consistent** with overall form and character of the building;
- **Flat roofs** will be permitted but with the use of parapets
- **Roof mounted equipment** should be hidden from prominent views with proper architectural design;
- **Roof forms** should reflect the diversity of the architectural character;
- Roofs along the street should be varied in height
- **Pitched roofs** are most appropriate for residential, institutional and mixed use buildings, while flat roofs may lend themselves to commercial use.



Screen rooftop maintenance equipment

Building Base



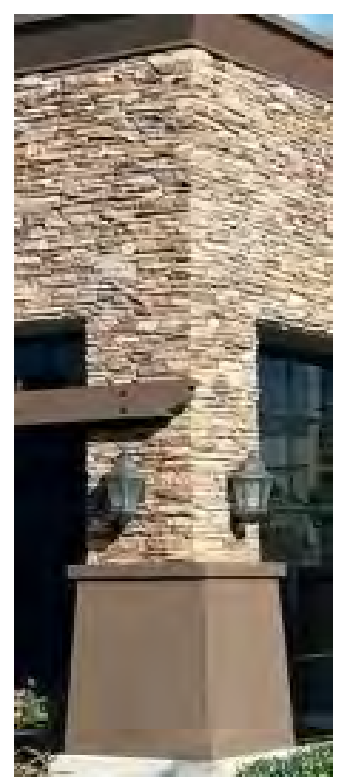
- Need for building base to establish **connection with streetscape** and pedestrian;
- **Accent to wall** or façade, and base of pillars;
- **Materials** to be predominantly stone, rock and brick;
- **Height** of base and relationship with window sizes is critical
- Opportunity for **stepped base** to accommodate podium above parking or ground floor;
- Opportunity to **animate and decorate** the base area of the front wall with flower boxes and landscaping.



Architectural Details



- Applications of the authentic material
- Use of landscape materials/rock and boulders
- Special trim and architectural elements using wood timbers
- Blending window, exterior materials and trim details can result in quality appeal



Color

Recommended Colors Earthtone Palette



Earthtone colors come from natural things around us: brown soil, green leaf, cloudy sky, as well as the red sun. These palettes can create a warm, nature-friendly atmosphere.

Meanings:

Warm, safe, protective, sturdy, durable, rough

Implications:

Earthy, environmental, welcoming, bold

Associations:

Soil, forest, wood, countryside

Awning Styles



Standard W/ Valance



Standard



Standard W/ Arch



Waterfall



Bullnose



Dome



Circular



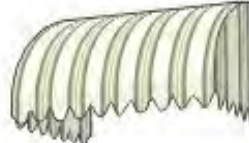
Box



Gable



Half Round



Quarter Round



Spearhead